

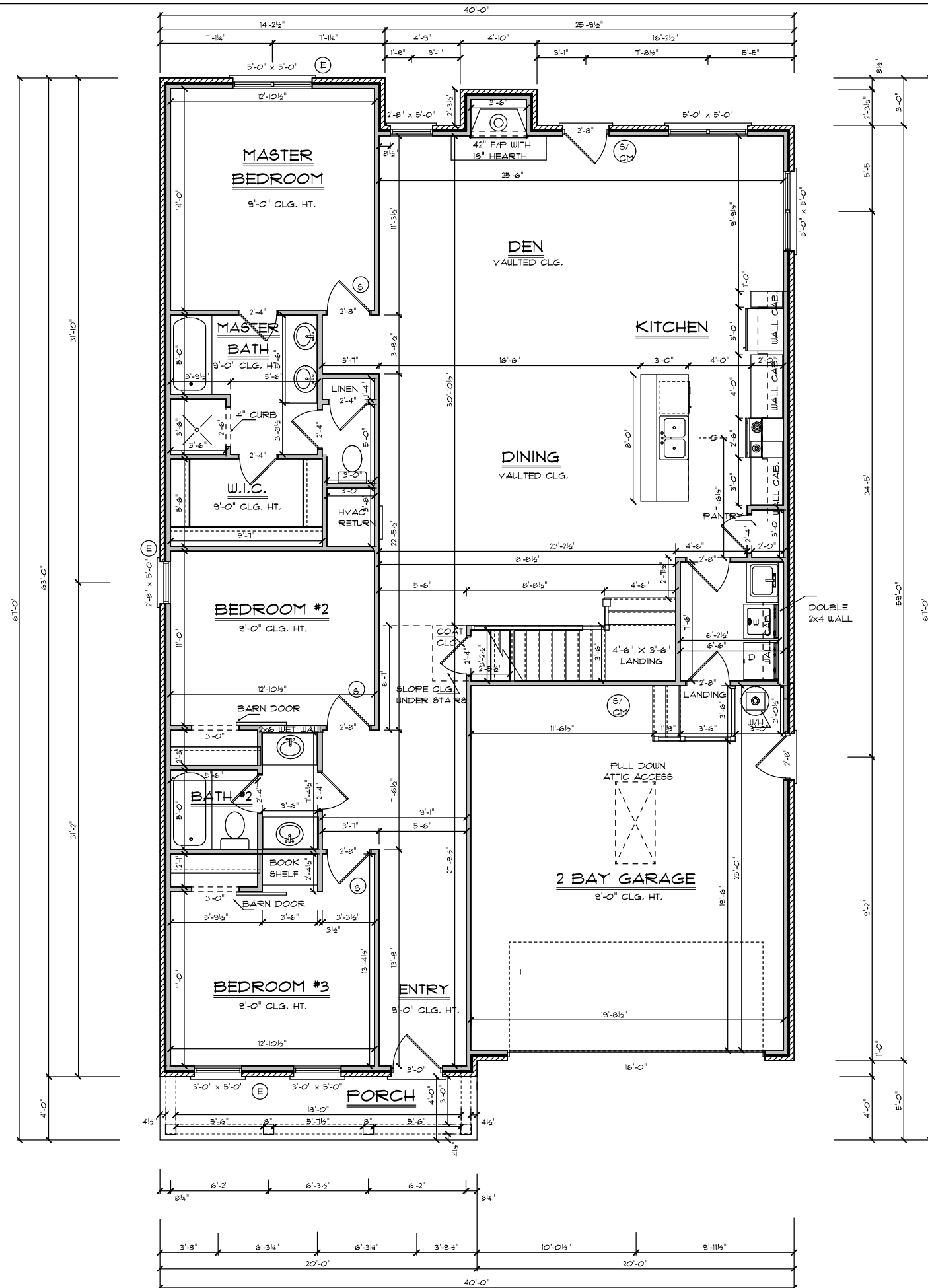
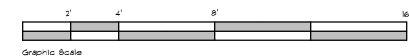
GENERAL NOTES

1. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT ILLUSTRATED HEREIN USING PROPER MEANS, METHODS, AND MATERIALS.
2. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN A MANNER THAT MEETS ALL BUILDING CODES, ALL ZONING CODES, AND ALL PLANNING CODES IN FOR THE LOCATION OF CONSTRUCTION.
3. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE COORDINATION, TIE-INS, FEES, AND NECESSARY PERMITTING OF ALL CONNECTIONS TO PUBLIC UTILITIES AS REQUIRED FOR THE PROJECT.
4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE PROVISION OF DESIGN AS NECESSARY OF ALL FOOTINGS, FOUNDATION, WALL, FLOOR AND ROOF STRUCTURAL COMPONENTS AND IS RESPONSIBLE FOR THE PROVISION OF AN ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. INDICATIONS IN THESE DOCUMENTS ARE FOR GENERAL CONFIGURATION REFERENCE AND OVERALL DIMENSIONS COORDINATION ONLY. ANY COORDINATION NECESSARY FOR DEVIATIONS FROM THE INDICATED DIMENSIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
5. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE DESIGN AND COORDINATION OF ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS, AND IS RESPONSIBLE FOR THE PROVISIONS OF ANY ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. LOCATIONS OF SERVICE PANELS, SUB PANELS, SHUT-OFFS AND OTHER CONTROL DEVICES OR EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
6. THE GENERAL CONTRACTOR WILL PROVIDE FOR A CRAWL SPACE SYSTEM THAT PROHIBITS MOISTURE INFILTRATION INTO THE HOUSE. COORDINATION OF ADDITIONAL HVAC REGISTER(S) AND RETURN(S) FOR THIS CONDITIONED CRAWL SPACE ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING DESIGN, SUBSURFACE DRAINAGE COORDINATION, SITE SILTRATION/RUNOFF PREVENTION AND FINAL DRAINAGE CONFIGURATION FOR THE SITE.
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11. ELECTRICAL: THE GENERAL CONTRACTOR/OWNER SHALL BE RESPONSIBLE SOLELY FOR COORDINATING THE QUANTITY, LOCATION AND HEIGHT OF ALL ELECTRICAL DEVICES WITH THE APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, APPLIANCES, EQUIPMENT, COUNTERTOPS, AND CASE WORK.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND PROVISIONS OF FIRE-RESISTIVE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND/OR AS REQUIRED BY BUILDING CODES AND LOCAL ORDINANCES. THIS INCLUDES COORDINATION WITH LOCAL BUILDING OFFICIALS TO DETERMINE THE FIRE PROTECTION NEEDS FOR THE STRUCTURE, BE THAT ADDITIONAL SEPERATIONS OF COMPONENT SPACES, PROVISION OF FIRE HYDRANT LOCATIONS/FLOW TESTS, OR DESIGN AND INSTALLATION OF RESIDENTIAL SPRINKLER SYSTEMS.

PLAN NOTES:

- (S) SMOKE DETECTOR
- (S/CM) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

MAIN FLOOR PLAN



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Exterior Sqft.1940 sf.
First Floor549 sf.
Total2489 sf.
Garage482 sf.
Front Porch71 sf.

LOT 110
Masters View
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Main Floor
Scale 1/4" = 1'
Scale 1/8" = 1'

ON 24"x36" PAPER
ON 11"x17" PAPER

Date: 7-28-16

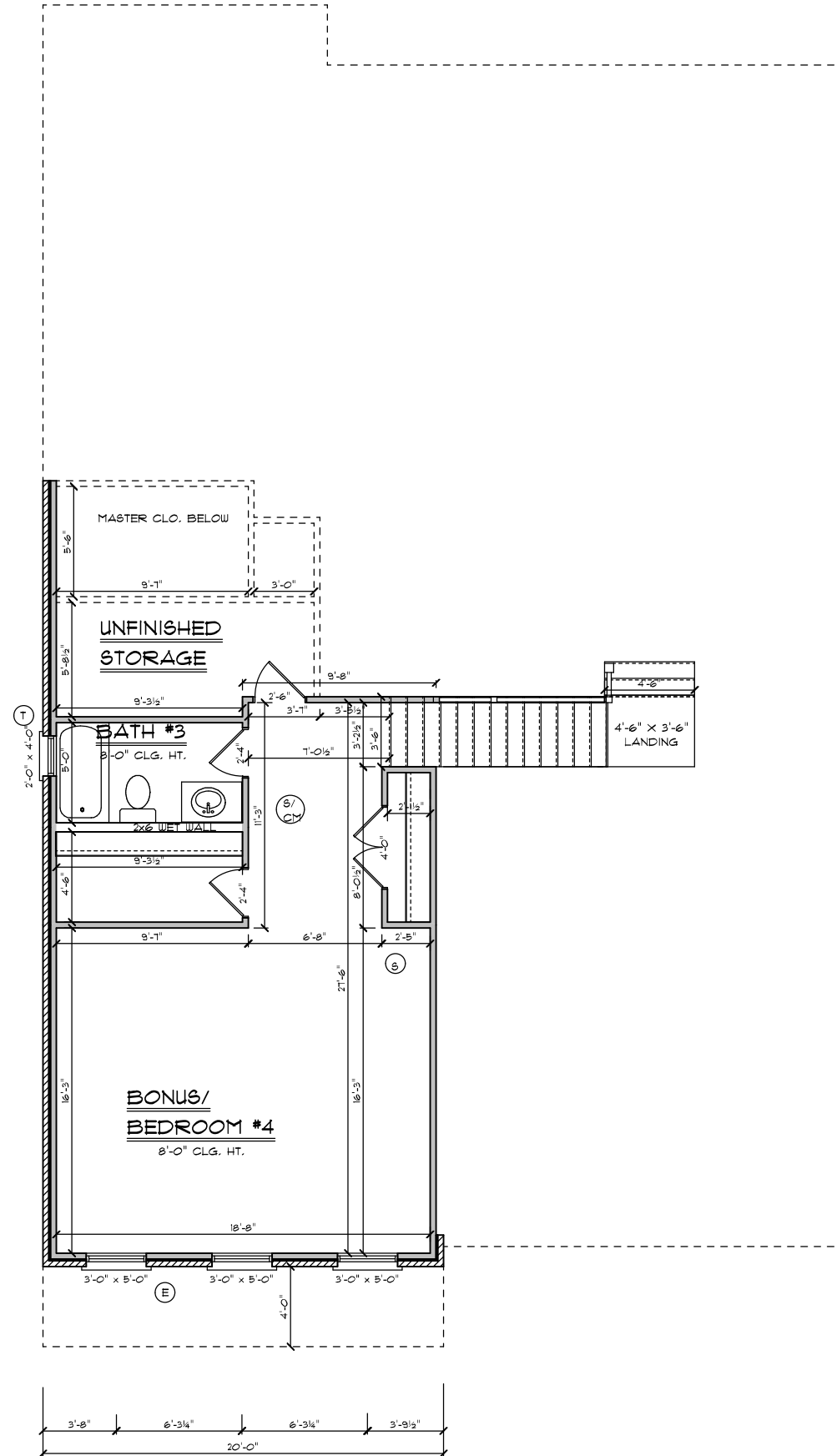
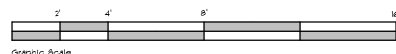
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PLAN NOTES:

- (S) SMOKE DETECTOR
- (S/C) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

SECOND FLOOR PLAN



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Exterior Sqft.	1940 sf.
First Floor	549 sf.
Second Floor	2489 sf.
Total	482 sf.
Garage	71 sf.

LOT 110
Masters View
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

ON 24" x 36" PAPER
ON 11" x 17" PAPER

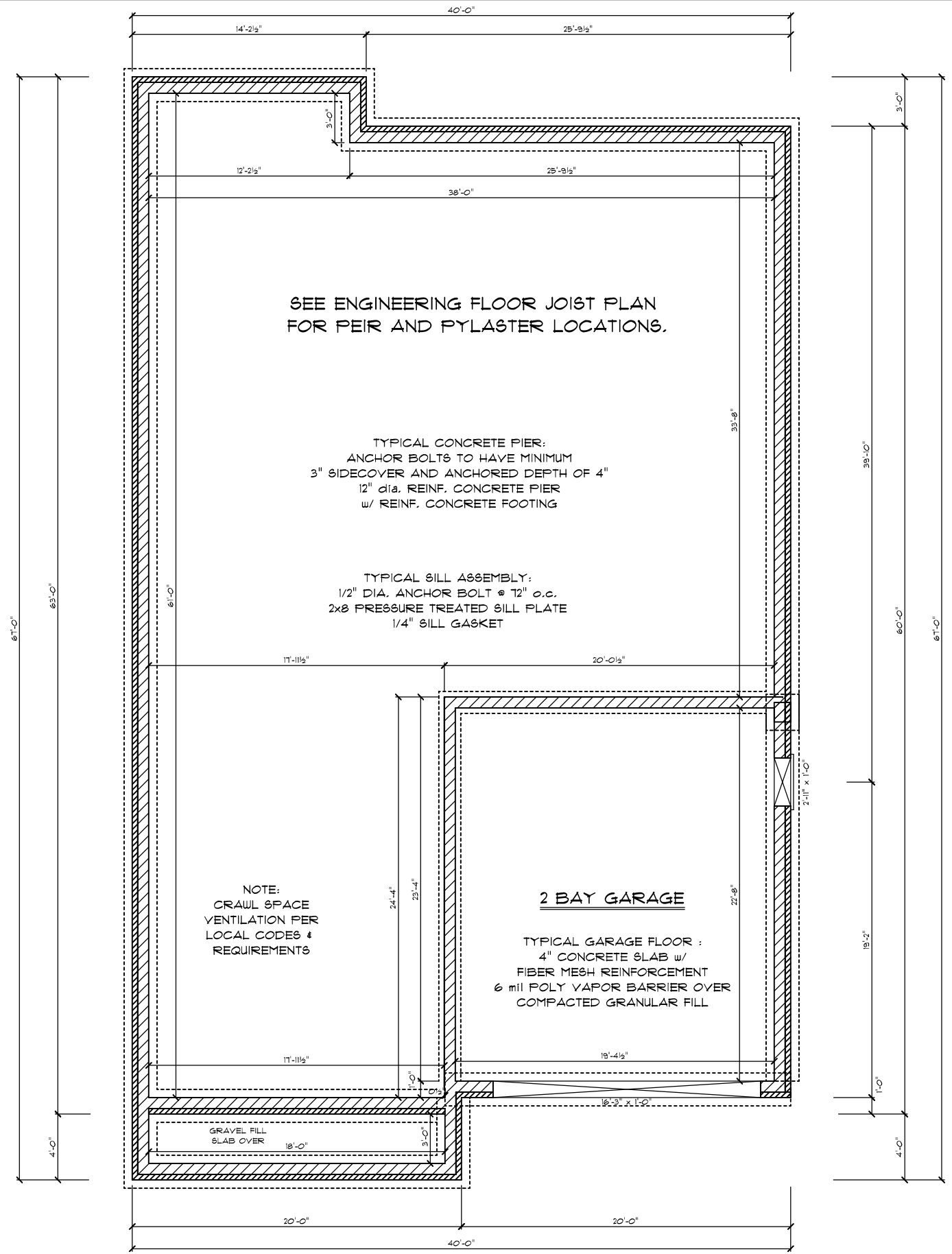
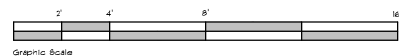
Second Floor
Scale 1/4" = 1'
Scale 1/8" = 1'

Date: 7-28-16

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FOUNDATION PLAN



SEE ENGINEERING FLOOR JOIST PLAN FOR PEIR AND PYLASTER LOCATIONS.

TYPICAL CONCRETE PIER:
ANCHOR BOLTS TO HAVE MINIMUM
3" SIDECOVER AND ANCHORED DEPTH OF 4"
12" dia. REINF. CONCRETE PIER
w/ REINF. CONCRETE FOOTING

TYPICAL SILL ASSEMBLY:
1/2" DIA. ANCHOR BOLT @ 12" o.c.
2x8 PRESSURE TREATED SILL PLATE
1/4" SILL GASKET

NOTE:
CRAWL SPACE
VENTILATION PER
LOCAL CODES &
REQUIREMENTS

2 BAY GARAGE

TYPICAL GARAGE FLOOR :
4" CONCRETE SLAB w/
FIBER MESH REINFORCEMENT
6 mil POLY VAPOR BARRIER OVER
COMPACTED GRANULAR FILL

GRAVEL FILL
SLAB OVER

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Exterior Sqft.1940 sf.
First Floor549 sf.
Second Floor2489 sf.
Total4978 sf.
Garage482 sf.
Front Porch71 sf.

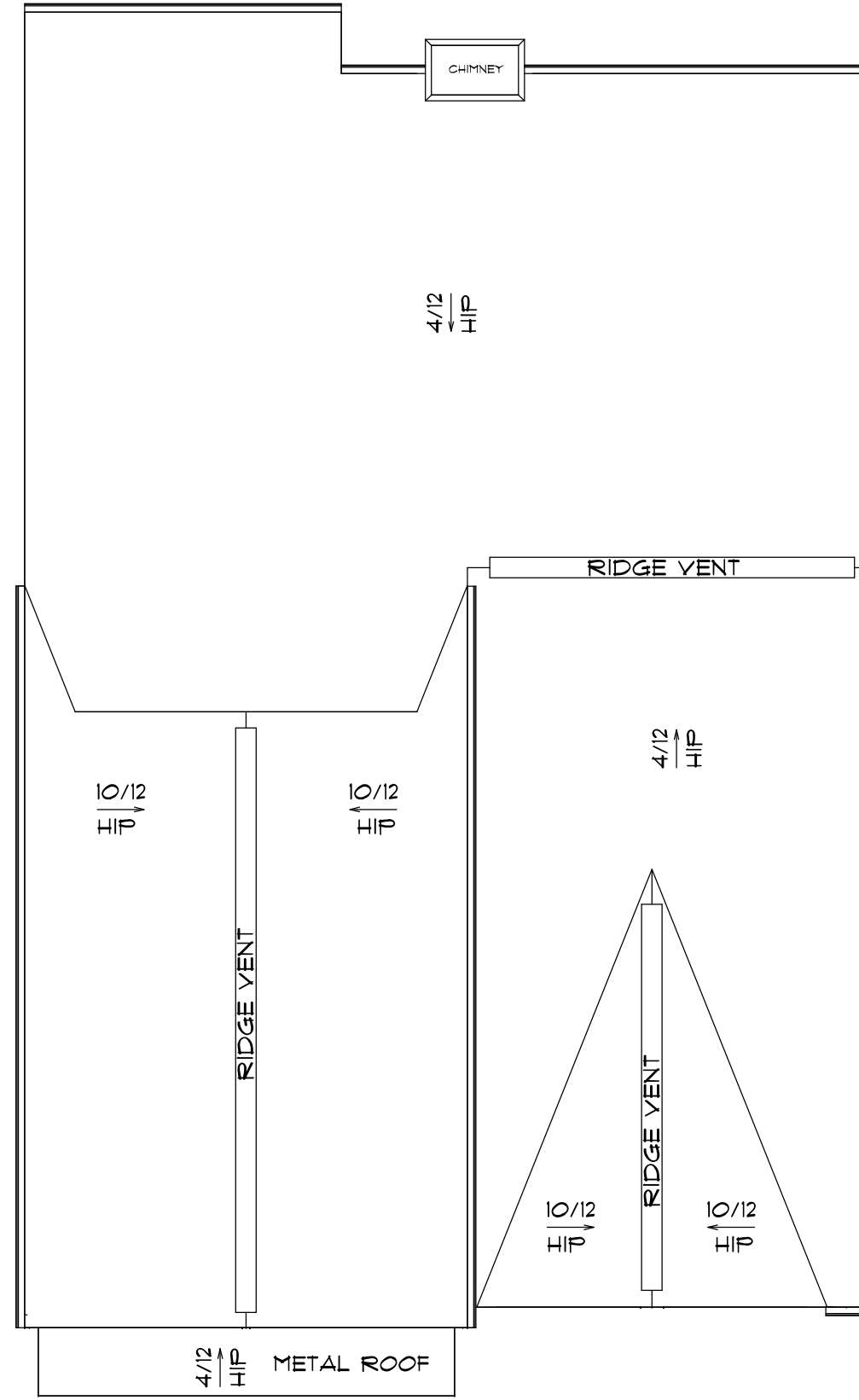
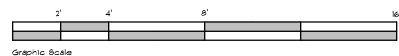
LOT 110
Masters View
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Foundation
Scale 1/4" = 1'
Scale 1/8" = 1'
ON 24" X 36" PAPER
ON 11" X 17" PAPER

Date: 1-28-16

ROOF LAYOUT



Roof Layout
 Scale 1/4" = 1'
 Scale 1/8" = 1'

Date: 7-28-16

ON 24"x36" PAPER
 ON 11"x17" PAPER

SOUTHERN CONSTRUCTION

LOT 110
 Masters View
 Mount Juliet, TN 37122

Exterior Sqft.	1940 sf
First Floor	549 sf
Second Floor	2489 sf
Total	482 sf
Garage	71 sf
Front Porch	

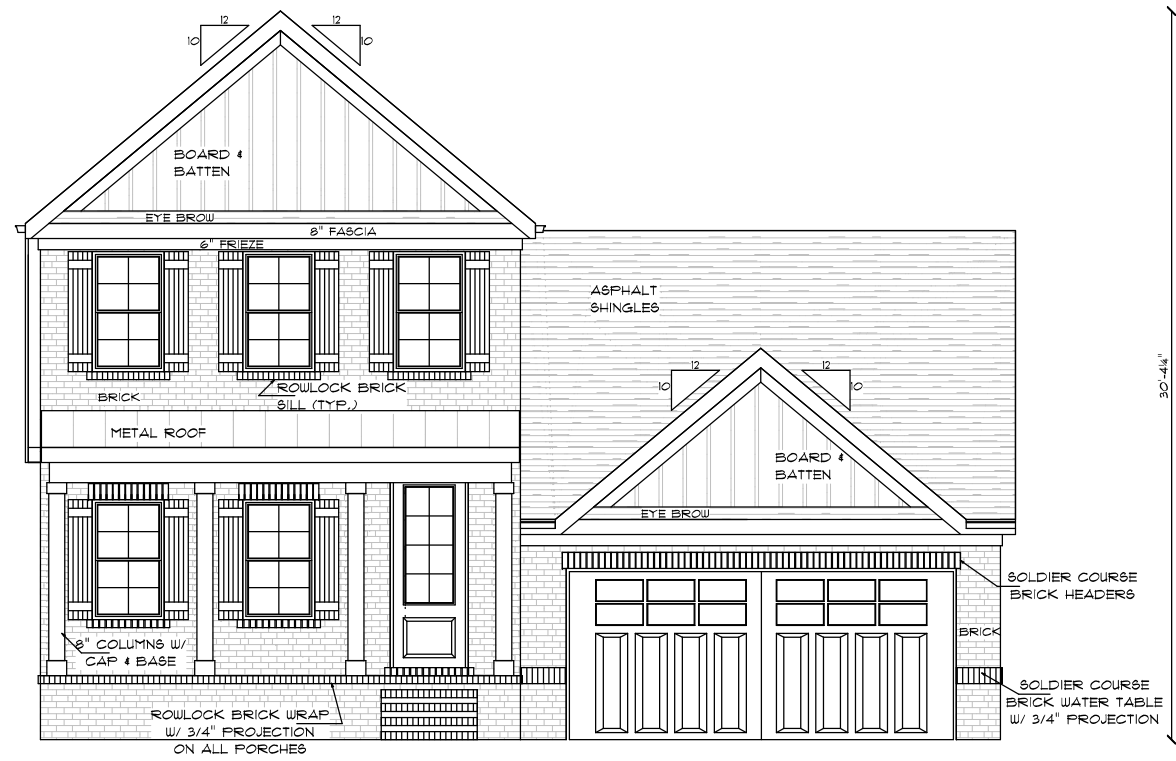
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 ALL MECHANICAL, PLUMBING, ELECTRICAL, AND HVAC SYSTEMS
 WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

SECOND FLR. CLG. HGT. 8'-0"

SECOND FLR. LINE

MAIN FLR. CLG. HGT. 9'-0"

MAIN FLR. F.F.E.



MAIN RIDGE HGT.

GARAGE RIDGE HGT.

21'-7 1/2"

12'-0"

9'-0"

MAIN FLR CLG. HGT.

GARAGE FRONT WALL HGT.

GARAGE F.F.E.

FRONT ELEVATION



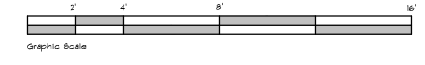
SECOND FLR. CLG. HGT. 8'-0"

SECOND FLR. LINE

MAIN FLR. CLG. HGT. 9'-0"

MAIN FLR. F.F.E.

REAR ELEVATION



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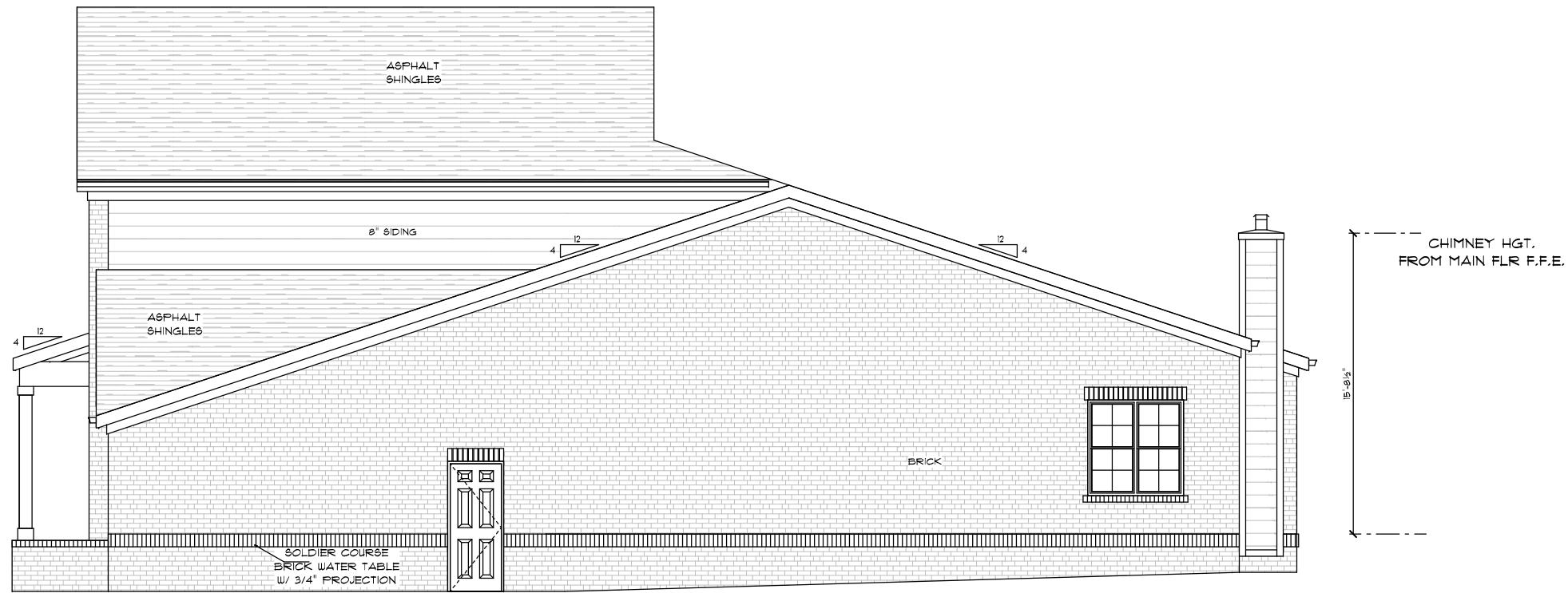
Exterior Sqft.	1940 sf.
First Floor	1549 sf.
Second Floor	2489 sf.
Total	482 sf.
Garage	71 sf.
Front Porch	

LOT 110
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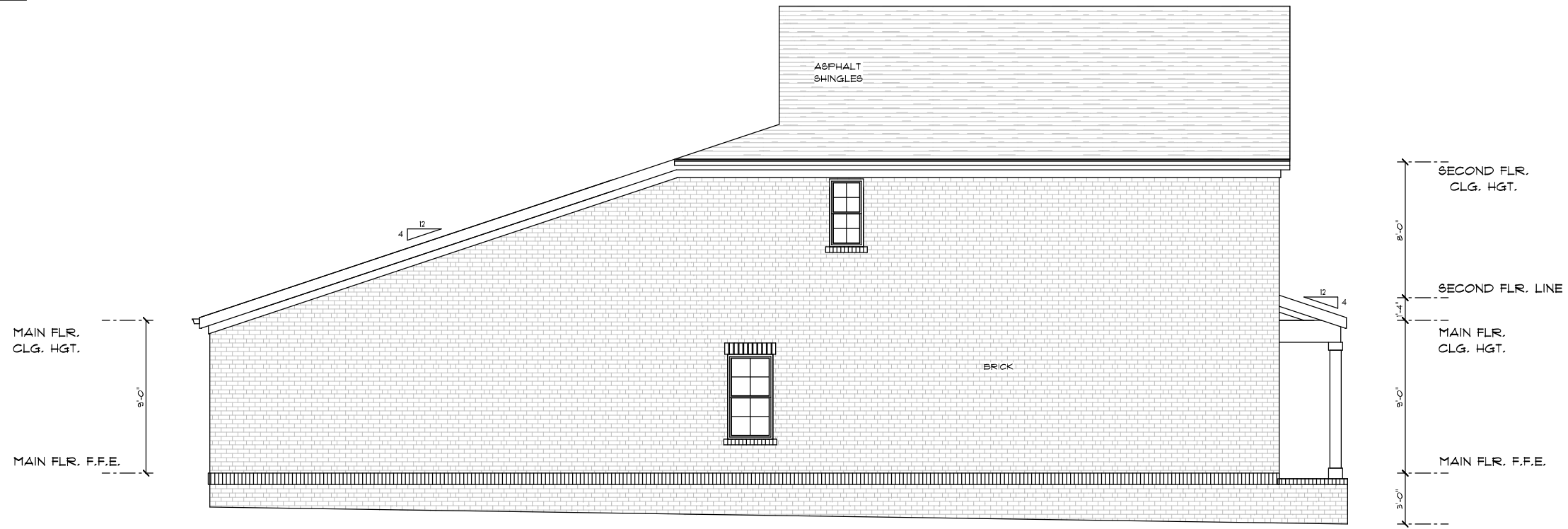
SOUTHERN CONSTRUCTION

Front & Rear Elevations
Scale 1/4" = 1' ON 24" X 36" PAPER
Scale 1/8" = 1' ON 11" X 17" PAPER

Date: 7-28-16



RIGHT ELEVATION



LEFT ELEVATION



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THE DRAWINGS WITH ALL OTHERS AND TO COMPLY
WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME

Exterior Sqft.	1940 sf.
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Second Floor	2489 sf.
Total	4877 sf.
Garage	482 sf.
Front Porch	71 sf.

LOT 110
Masters View
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

LEFT & RIGHT Elevations
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Date: 1-28-16