

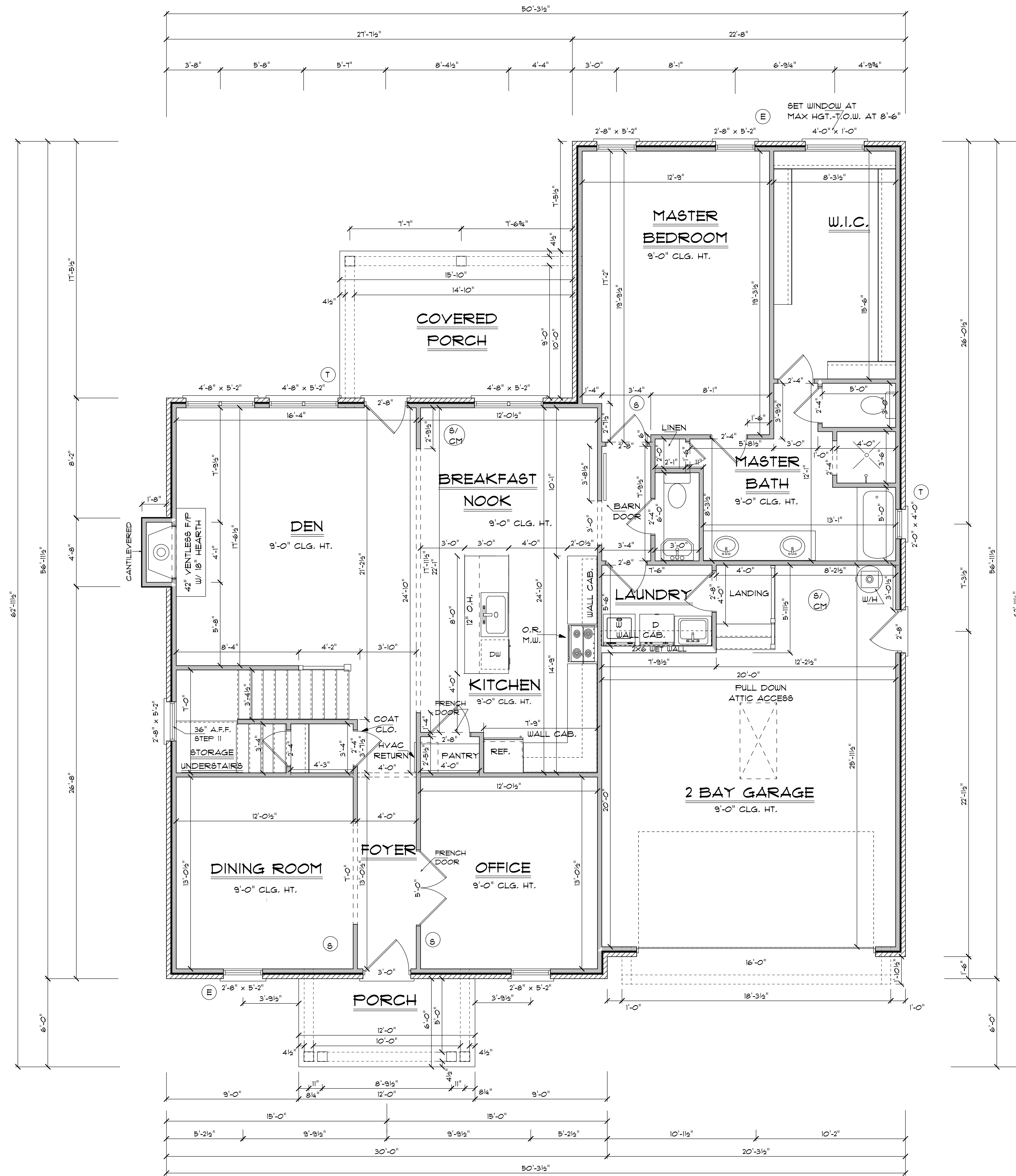
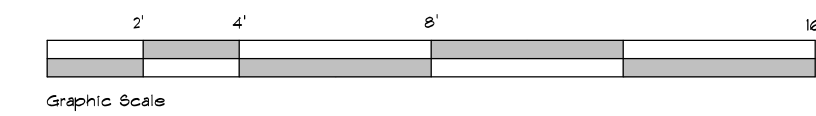
**GENERAL NOTES**

1. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT ILLUSTRATED HEREIN USING PROPER MEANS, METHODS, AND MATERIALS.
2. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN A MANNER THAT MEETS ALL BUILDING CODES, ALL ZONING CODES, AND ALL PLANNING CODES IN FOR THE LOCATION OF CONSTRUCTION.
3. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE COORDINATION, TIE-INs, FEES, AND NECESSARY PERMITTING OF ALL CONNECTIONS TO PUBLIC UTILITIES AS REQUIRED FOR THE PROJECT.
4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE PROVISION OF DESIGN AS NECESSARY OF ALL FOOTINGS, FOUNDATION, WALL, FLOOR AND ROOF STRUCTURAL COMPONENTS AND IS RESPONSIBLE FOR THE PROVISION OF AN ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. INDICATIONS IN THESE DOCUMENTS ARE FOR GENERAL CONFIGURATION REFERENCE AND OVERALL DIMENSIONS COORDINATION ONLY. ANY COORDINATION NECESSARY FOR DEVIATIONS FROM THE INDICATED DIMENSIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
5. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE DESIGN AND COORDINATION OF ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS, AND IS RESPONSIBLE FOR THE PROVISIONS OF ANY ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. LOCATIONS OF SERVICE PANELS, SUB PANELS, SHUT-OFFS AND OTHER CONTROL DEVICES OR EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
6. THE GENERAL CONTRACTOR WILL PROVIDE FOR A CRAWL SPACE SYSTEM THAT PROHIBITS MOISTURE INFILTRATION INTO THE HOUSE. COORDINATION OF ADDITIONAL HVAC REGISTER(S) AND RETURN(S) FOR THIS CONDITIONED CRAWL SPACE ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING DESIGN, SUBSURFACE DRAINAGE COORDINATION, SITE SILTRATION/RUNOFF PREVENTION AND FINAL DRAINAGE CONFIGURATION FOR THE SITE.
8. THE GENERAL CONTRACTOR/OWNER WILL SPECIFY ALL MATERIALS TO BE USED FOR CONSTRUCTION.
9. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE SELECTION AND SERVICE COORDINATION OF ALL APPLIANCES, EQUIPMENT, AND SYSTEMS.
10. FOOTINGS, FOUNDATION WALL PROFILE AND CRAWLSPACE HEIGHT: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING GRADE CONDITIONS AND TOPOGRAPHY TO DETERMINE THE HEIGHT OF THE CRAWLSPACE (TO BE MINIMUM OF 3'-6" CLEAR HEIGHT TO STRUCTURE).
11. ELECTRICAL: THE GENERAL CONTRACTOR/OWNER SHALL BE RESPONSIBLE SOLELY FOR COORDINATING THE QUANTITY, LOCATION AND HEIGHT OF ALL ELECTRICAL DEVICES WITH THE APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, APPLIANCES, EQUIPMENT, COUNTERTOPS, AND CABE WORK.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND PROVISIONS OF FIRE-RESISTIVE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND/OR AS REQUIRED BY BUILDING CODES AND LOCAL ORDINANCES. THIS INCLUDES COORDINATION WITH LOCAL BUILDING OFFICIALS TO DETERMINE THE FIRE PROTECTION NEEDS FOR THE STRUCTURE, BE THAT ADDITIONAL SEPERATIONS OF COMPONENT SPACES, PROVISION OF FIRE HYDRANT LOCATIONS/FLOW TESTS, OR DESIGN AND INSTALLATION OF RESIDENTIAL SPRINKLER SYSTEMS.

**PLAN NOTES:**

- (S) SMOKE DETECTOR
- (S/CO) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

**MAIN FLOOR PLAN**



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Exterior Sft.	1866 sf
First Floor	1119 sf
Second Floor	2068 sf
Total	3984 sf
Garage	508 sf
Front Porch	104 sf
Rear Co. Porch	149 sf

**LOT 112**  
Masters View  
Mount Juliet, TN 37122

**SOUTHERN CONSTRUCTION**

Main Floor  
Scale 1/4" = 1'  
Scale 1/8" = 1'

Date: 6-13-16

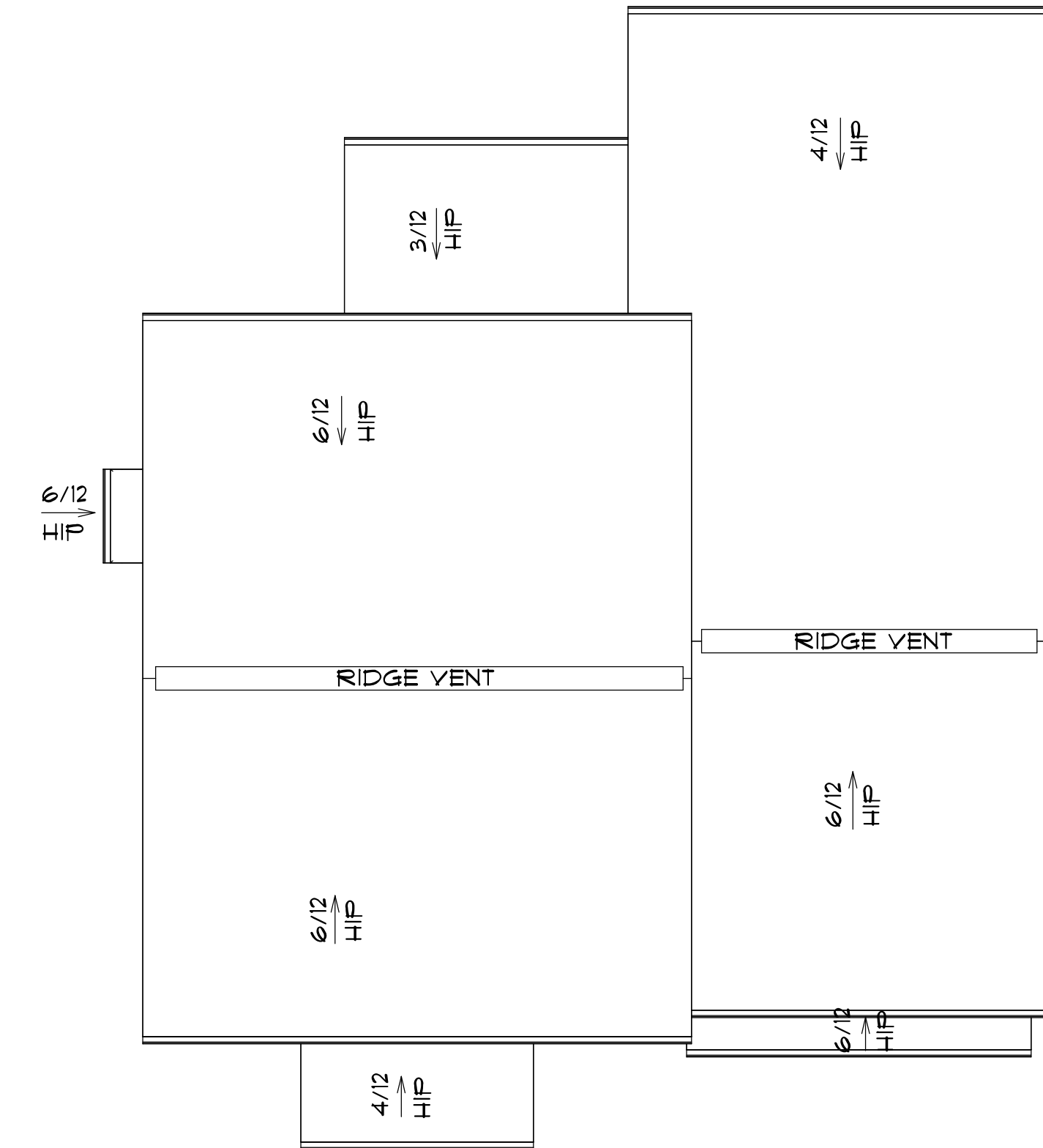
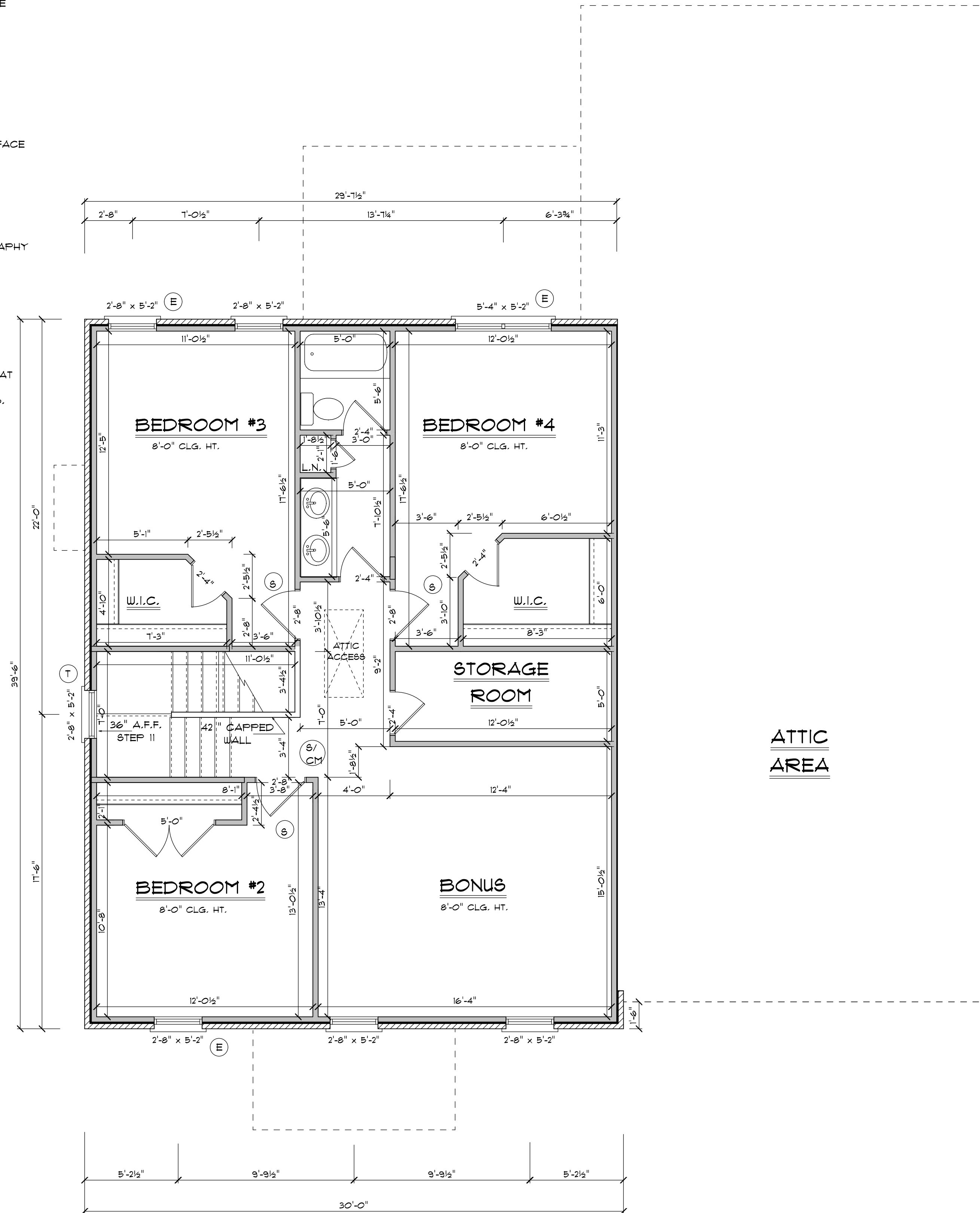
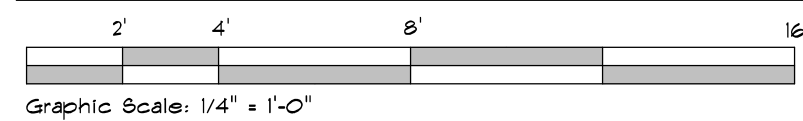
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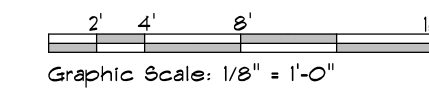
**PLAN NOTES:**

- (S) SMOKE DETECTOR
- (S/CM) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

**SECOND FLOOR PLAN**



**ROOF LAYOUT**



**ATTIC AREA**

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Exterior Sqft.	1856 sf.
First Floor	1112 sf.
Second Floor	2968 sf.
Total	5080 sf.
Garage	508 sf.
Front Porch	64 sf.
Rear Co. Porch	149 sf.

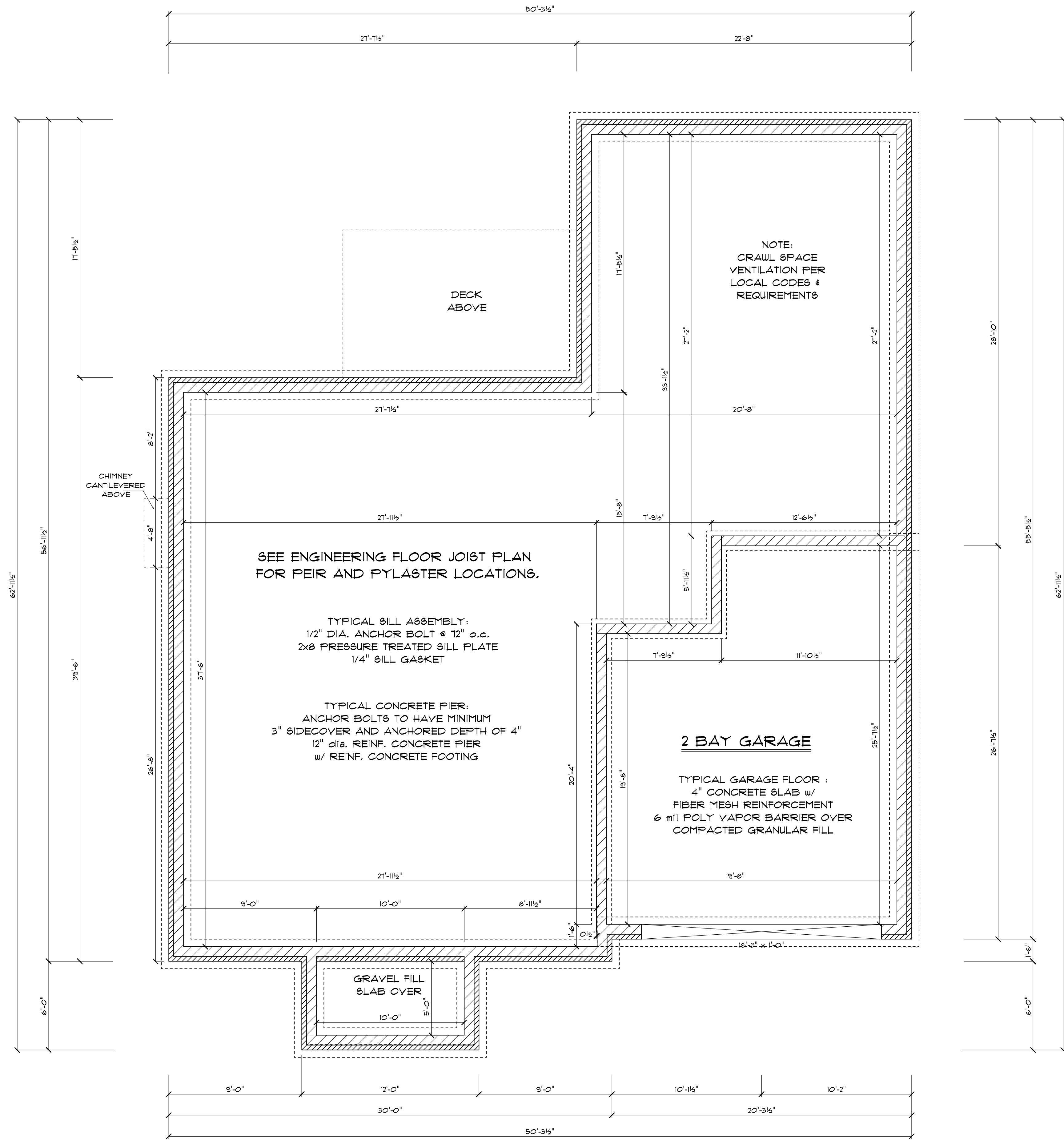
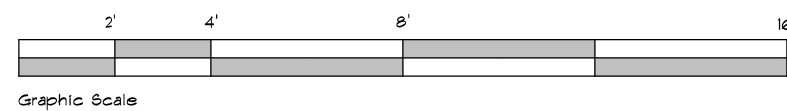
LOT 112  
Masters View  
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Second Floor & Roof Plan  
Scale 1/4" = 1' ON 24"x36" PAPER  
Scale 1/8" = 1' ON 11"x11" PAPER

DATE: 6-1-16

# FOUNDATION PLAN



Foundation Plan  
Scale 1/4" = 1'  
Scale 1/8" = 1'

ON 24"x36" PAPER  
ON 11"x17" PAPER

Date: 6-7-16

A-3

SOUTHERN CONSTRUCTION

LOT 112  
Masters View  
Mount Juliet, TN 37122

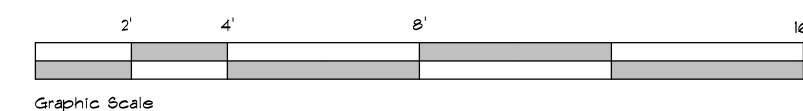
Exterior Sqft.	1866 sf
First Floor	1112 sf
Second Floor	2098 sf
Total	5008 sf
Garage	508 sf
Front Porch	104 sf
Rear Co. Porch	149 sf

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WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

**FRONT ELEVATION**



**REAR ELEVATION**



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Exterior Sft.	1856 sf
First Floor	1112 sf
Second Floor	744 sf
Total	2068 sf
Garage	608 sf
Front Porch	64 sf
Rear Co. Porch	149 sf

LOT 112  
Masters View  
Mount Juliet, TN 37122

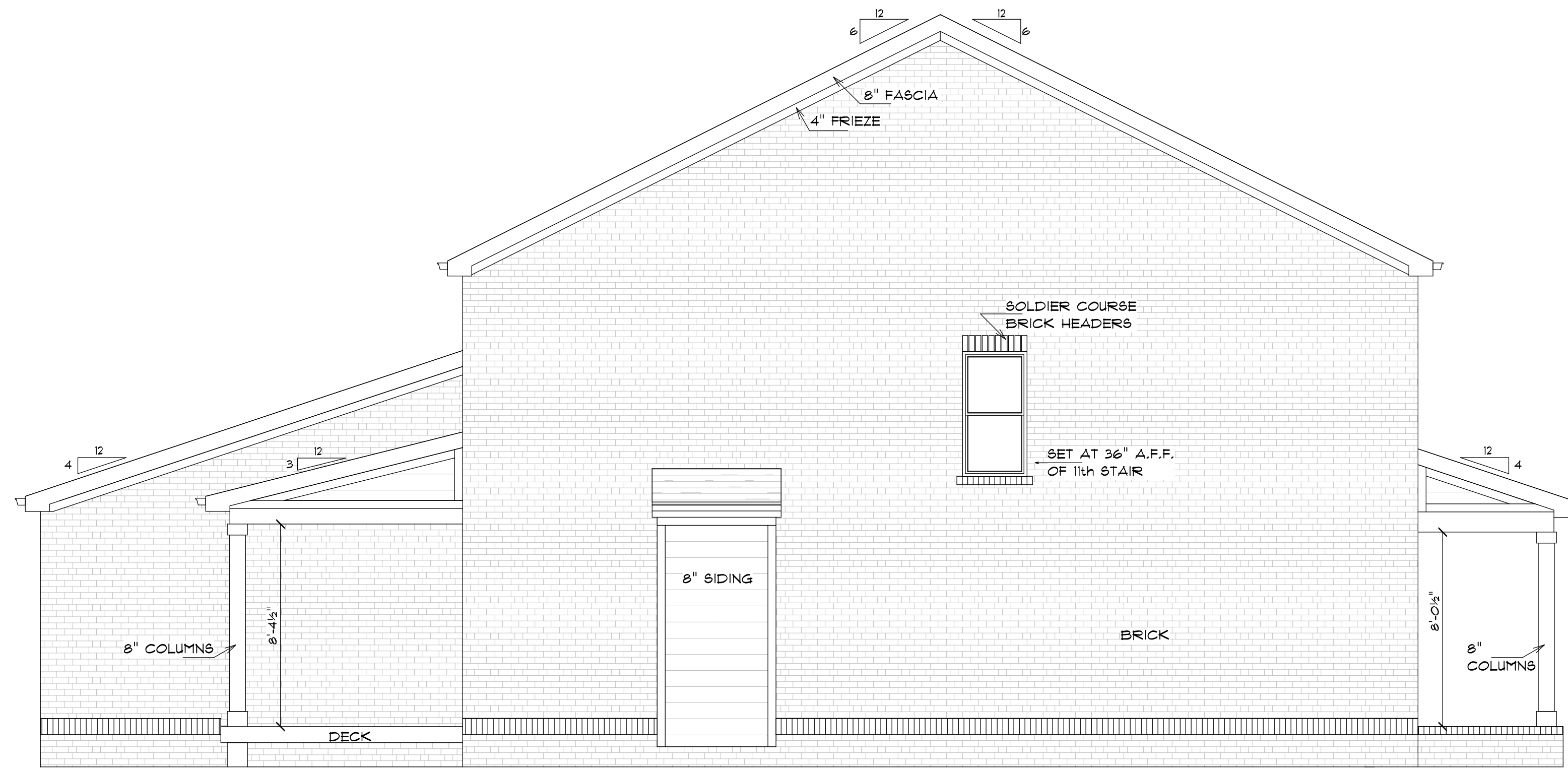
SOUTHERN CONSTRUCTION

Front & Rear Elevations  
Scale 1/4" = 1' ON 24"x36" PAPER  
Scale 1/8" = 1' ON 11"x17" PAPER

Date: 6-1-16

**LEFT ELEVATION**

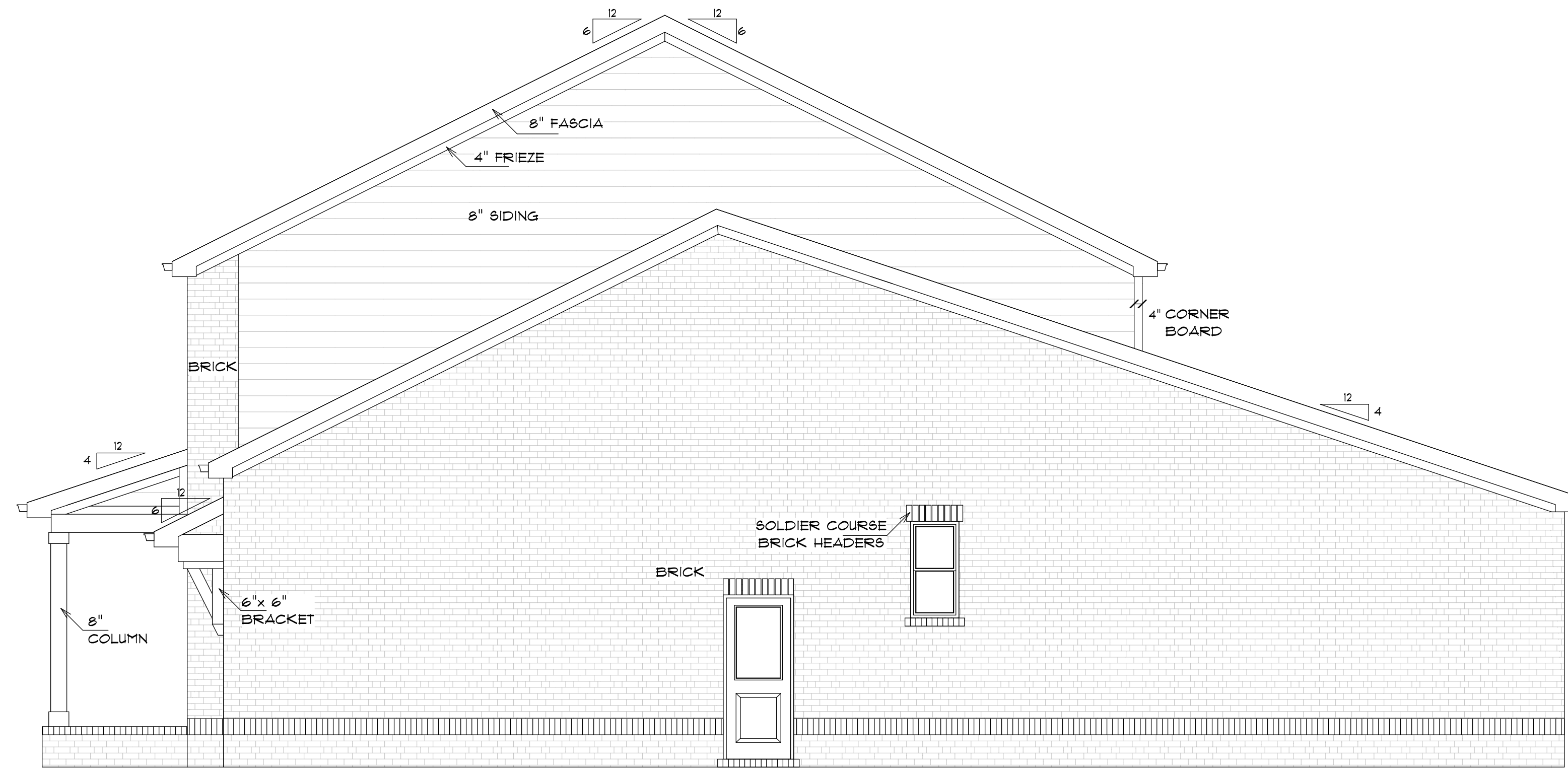
SECOND CLG. HT. 8'-0"  
 SECOND FLR. LINE  
 MAIN FLR. CLG. HT. 9'-0"  
 MAIN FLR. F.F.E.  
 GARAGE F.F.E. 2'-0"



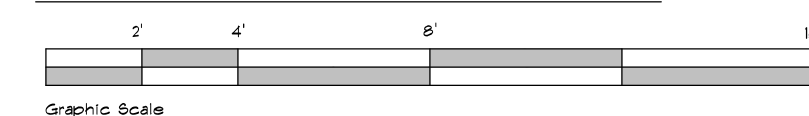
SECOND CLG. HT. 8'-0"  
 SECOND FLR. LINE  
 MAIN FLR. CLG. HT. 9'-0"  
 MAIN FLR. F.F.E.  
 GARAGE F.F.E. 2'-0"

**RIGHT ELEVATION**

SECOND CLG. HT. 8'-0"  
 SECOND FLR. LINE  
 MAIN FLR. CLG. HT. 9'-0"  
 MAIN FLR. F.F.E.  
 GARAGE F.F.E. 2'-0"



MAIN FLR. CLG. HT. 9'-0"  
 MAIN FLR. F.F.E.  
 GARAGE F.F.E. 2'-0"



THESE DRAWINGS ARE FOR PERMANENT USE ONLY.  
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 ALL TRADES AND UTILITIES WITH THE FRAMEWORK AND AESTHETICS OF THIS HOME.

Exterior Sqft.	
First Floor	1856 sf.
Second Floor	1112 sf.
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Garage	508 sf.
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Rear Co. Porch	149 sf.

LOT 112  
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SOUTHERN CONSTRUCTION

Left & Right Elevations  
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 Scale 1/8" = 1' ON 11" x 17" PAPER

Date: 6-13-16