

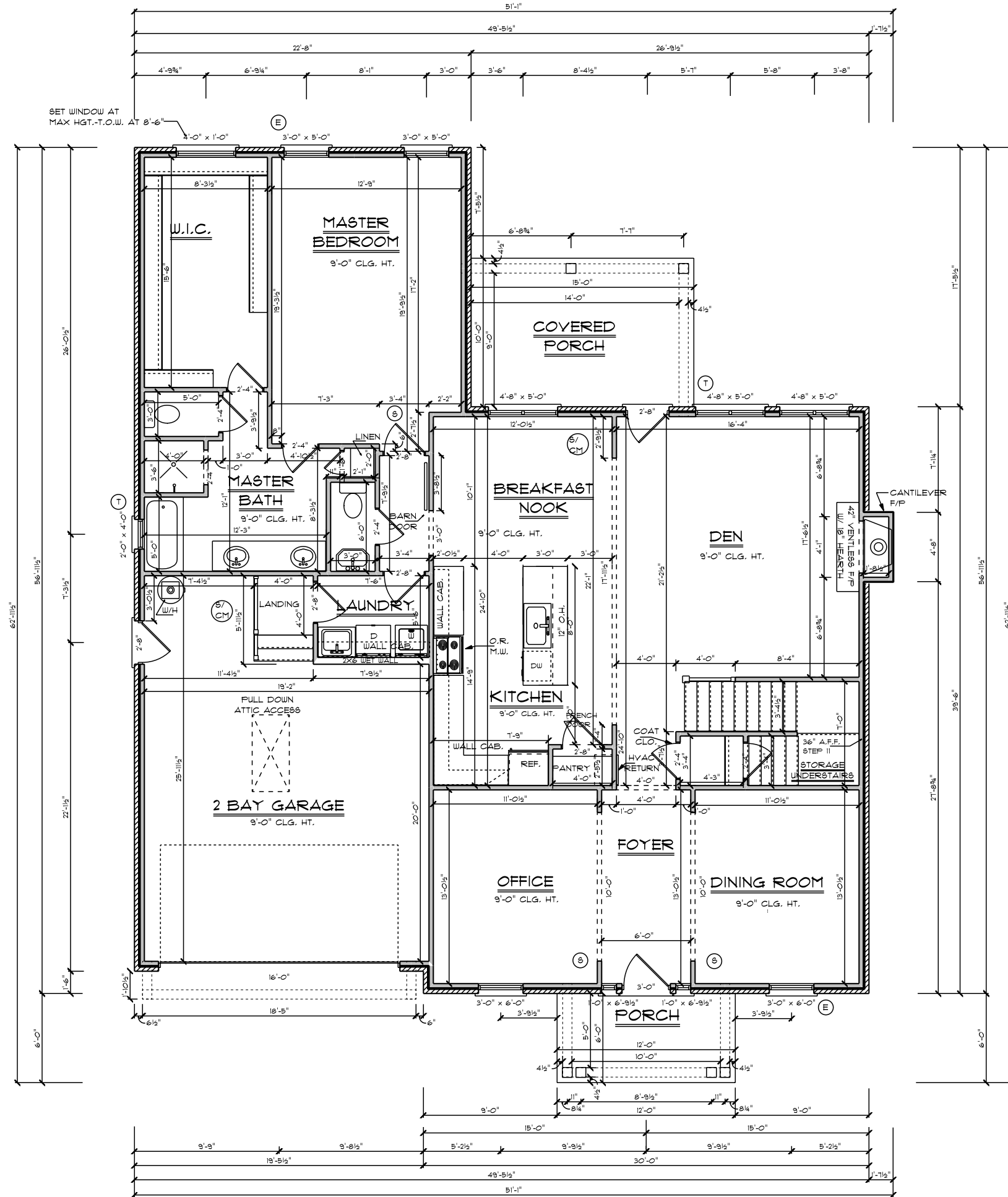
GENERAL NOTES

1. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT ILLUSTRATED HEREIN USING PROPER MEANS, METHODS, AND MATERIALS.
2. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN A MANNER THAT MEETS ALL BUILDING CODES, ALL ZONING CODES, AND ALL PLANNING CODES IN FOR THE LOCATION OF CONSTRUCTION.
3. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE COORDINATION, TIE-INS, FEES, AND NECESSARY PERMITTING OF ALL CONNECTIONS TO PUBLIC UTILITIES AS REQUIRED FOR THE PROJECT.
4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE PROVISION OF DESIGN AS NECESSARY OF ALL FOOTINGS, FOUNDATION, WALL, FLOOR AND ROOF STRUCTURAL COMPONENTS AND IS RESPONSIBLE FOR THE PROVISION OF AN ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. INDICATIONS IN THESE DOCUMENTS ARE FOR GENERAL CONFIGURATION REFERENCE AND OVERALL DIMENSIONS COORDINATION ONLY. ANY COORDINATION NECESSARY FOR DEVIATIONS FROM THE INDICATED DIMENSIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
5. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE DESIGN AND COORDINATION OF ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS, AND IS RESPONSIBLE FOR THE PROVISIONS OF ANY ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. LOCATIONS OF SERVICE PANELS, SUB PANELS, SHUT-OFFS AND OTHER CONTROL DEVICES OR EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
6. THE GENERAL CONTRACTOR WILL PROVIDE FOR A CRAWL SPACE SYSTEM THAT PROHIBITS MOISTURE INFILTRATION INTO THE HOUSE. COORDINATION OF ADDITIONAL HVAC REGISTER(S) AND RETURN(S) FOR THIS CONDITIONED CRAWL SPACE ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING DESIGN, SUBSURFACE DRAINAGE COORDINATION, SITE INFILTRATION/RUNOFF PREVENTION AND FINAL DRAINAGE CONFIGURATION FOR THE SITE.
8. THE GENERAL CONTRACTOR/OWNER WILL SPECIFY ALL MATERIALS TO BE USED FOR CONSTRUCTION.
9. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE FOR THE SELECTION AND SERVICE COORDINATION OF ALL APPLIANCES, EQUIPMENT, AND SYSTEMS.
10. FOOTINGS, FOUNDATION WALL PROFILE AND CRAWLSPACE HEIGHT: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING GRADE CONDITIONS AND TOPOGRAPHY TO DETERMINE THE HEIGHT OF THE CRAWLSPACE (TO BE MINIMUM OF 3'-6" CLEAR HEIGHT TO STRUCTURE).
11. ELECTRICAL: THE GENERAL CONTRACTOR/OWNER SHALL BE RESPONSIBLE SOLELY FOR COORDINATING THE QUANTITY, LOCATION AND HEIGHT OF ALL ELECTRICAL DEVICES WITH THE APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, APPLIANCES, EQUIPMENT, COUNTERTOPS, AND CABE WORK.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND PROVISIONS OF FIRE-RESISTIVE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND/OR AS REQUIRED BY BUILDING CODES AND LOCAL ORDINANCES. THIS INCLUDES COORDINATION WITH LOCAL BUILDING OFFICIALS TO DETERMINE THE FIRE PROTECTION NEEDS FOR THE STRUCTURE, BE THAT ADDITIONAL SEPERATIONS OF COMPONENT SPACES, PROVISION OF FIRE HYDRANT LOCATIONS/FLOW TESTS, OR DESIGN AND INSTALLATION OF RESIDENTIAL SPRINKLER SYSTEMS.

PLAN NOTES:

- (S) SMOKE DETECTOR
- (S/CH) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

MAIN FLOOR PLAN



THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, ELECTRICAL, AND SYSTEMS WITH THE TRADES AND ARCHITECTS OF THIS HOME.

Ext. Sqft.	.....	1838 sf.
First Floor	.....	1106 sf.
Second Floor	.....	2944 sf.
Total	.....	482 sf.
Garage	.....	64 sf.
Front Porch	.....	141 sf.
Rear Co. Porch	.....	.....

LOT 26
Masters View
 Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Main Floor
 Scale as noted on 11" x 17" Paper

Date:
 4-19-18

A-1

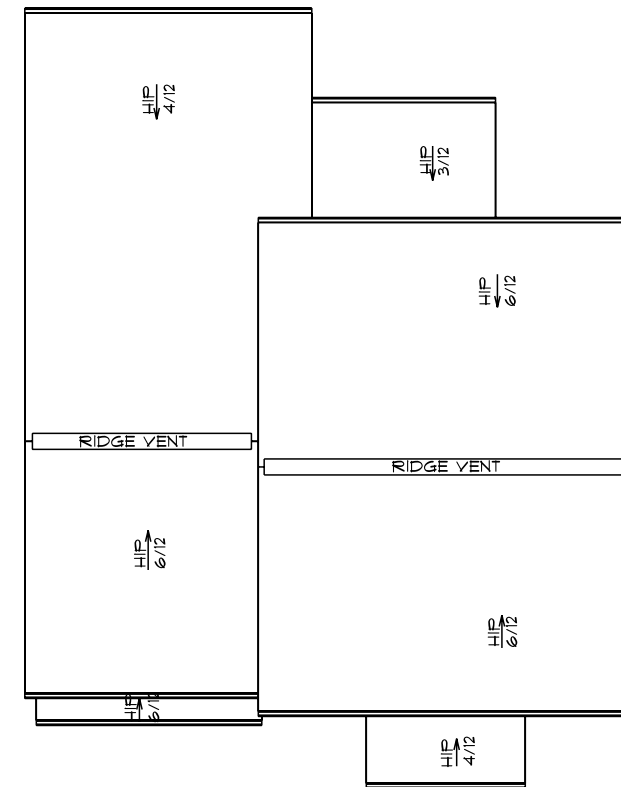
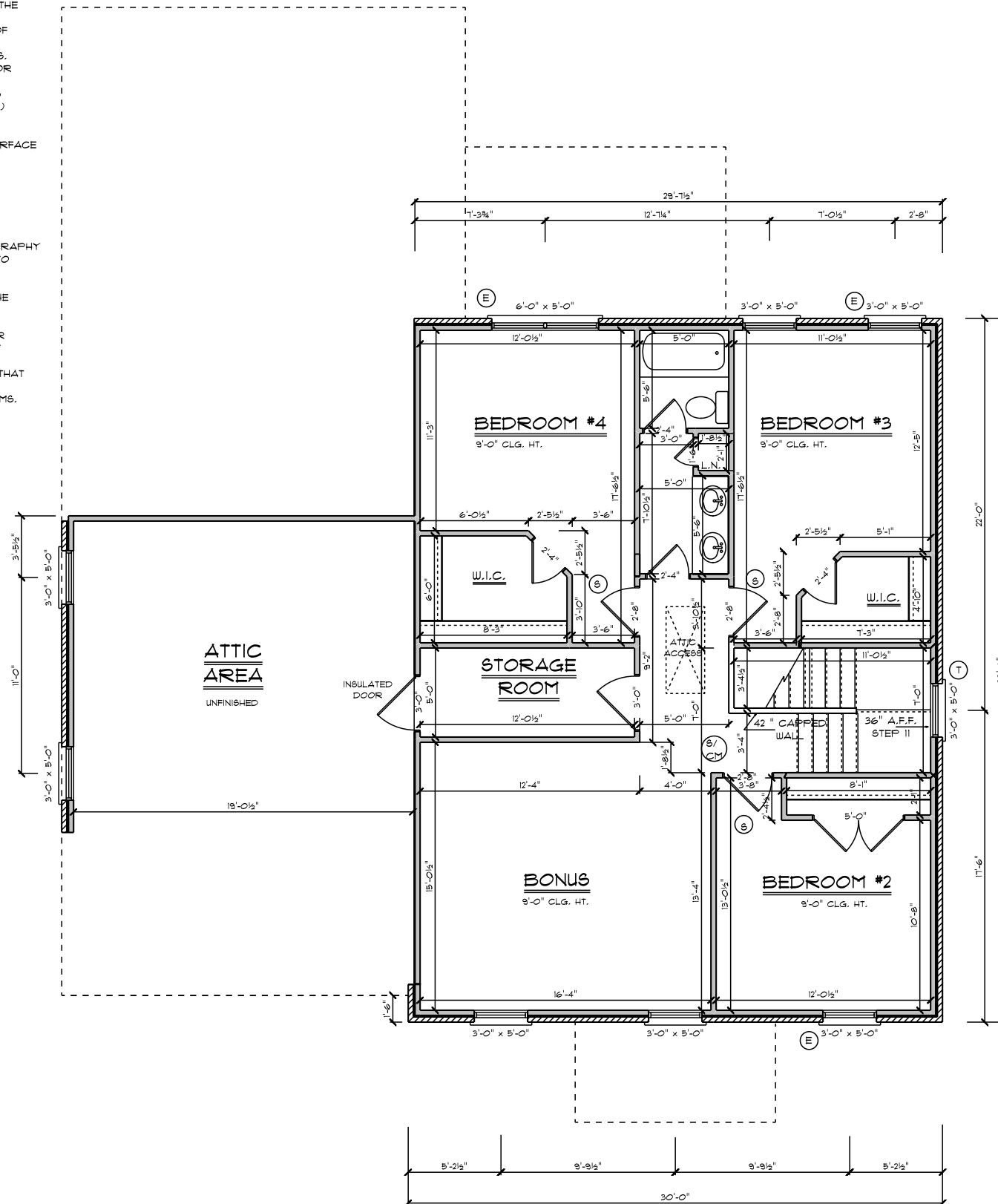
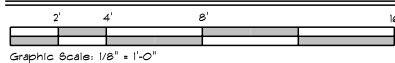
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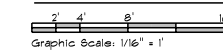
PLAN NOTES:

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- (S/CO) SMOKE/CARBON MONOXIDE DETECTOR
- (T) TEMPERED GLASS
- (E) EGRESS

SECOND FLOOR PLAN



ROOF LAYOUT



Ext. Sqft.	1838 sf.
First Floor	1106 sf.
Second Floor	2944 sf.
Total	4882 sf.
Garage	64 sf.
Front Porch	141 sf.
Rear Co. Porch	141 sf.

LOT 26
Masters View
Mount Juliet, TN 37122

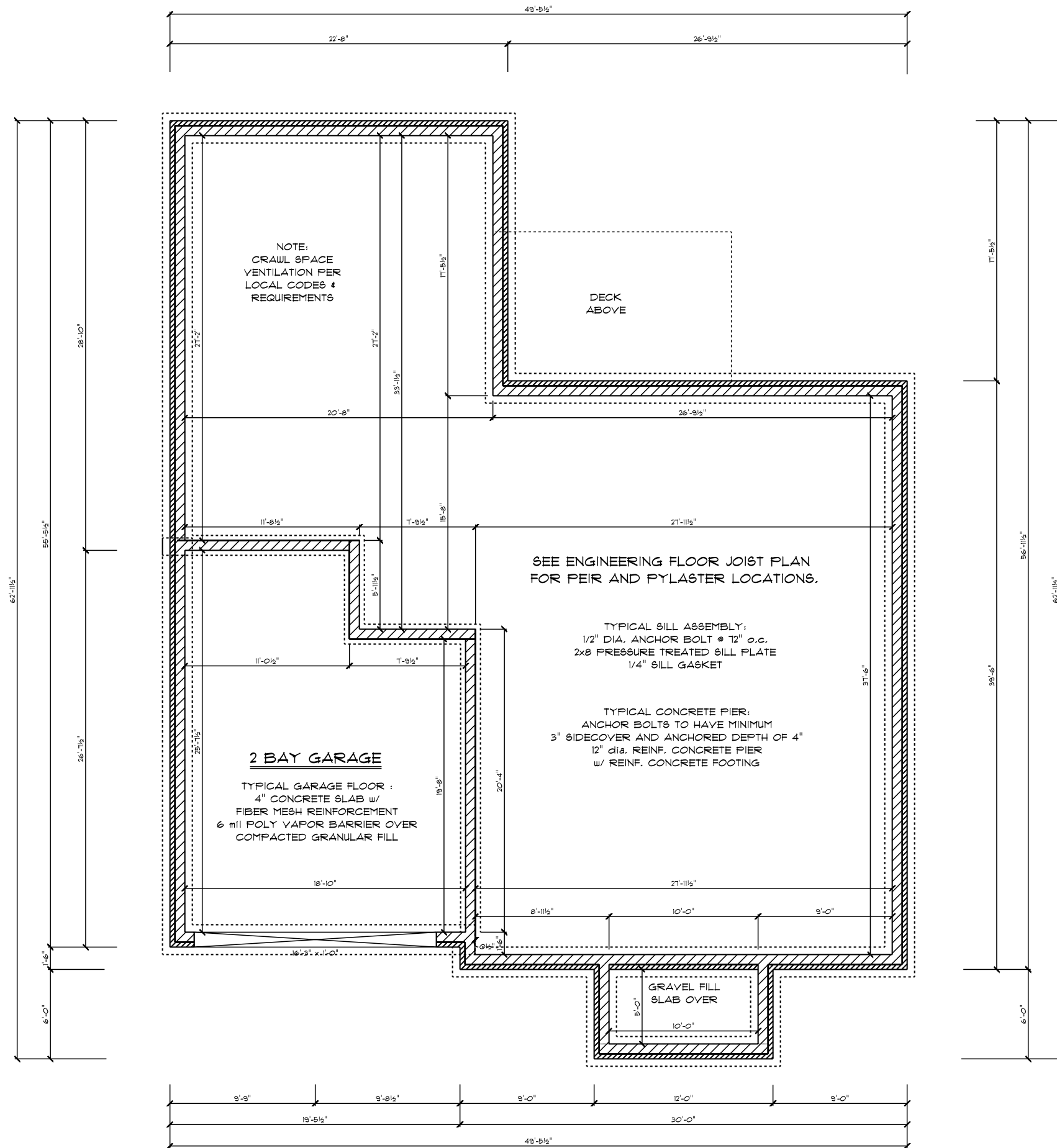
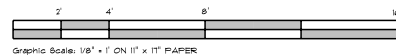
SOUTHERN CONSTRUCTION

Second Floor & Roof Plan
Scale as Noted on 11" x 17" Paper

DATE:
4-19-18

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FOUNDATION PLAN



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ALL MECHANICAL, ELECTRICAL, AND SYSTEMS
WITH THE FRAMERWORK AND HEIGHTS OF THIS HOME

Ext. Sqft.	1838 sf.
First Floor	1106 sf.
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Front Porch	141 sf.
Rear Co. Porch	

LOT 26
Masters View
Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Foundation Plan
Scale as Noted on 11" x 17" Paper

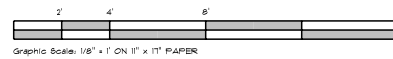
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FRONT ELEVATION



REAR ELEVATION



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Rear Co. Porch	141 sf.

LOT 26
Masters View
Mount Juliet, TN 31122

SOUTHERN CONSTRUCTION

Front & Rear Elevations
Scale as Noted On 11" x 17" Paper

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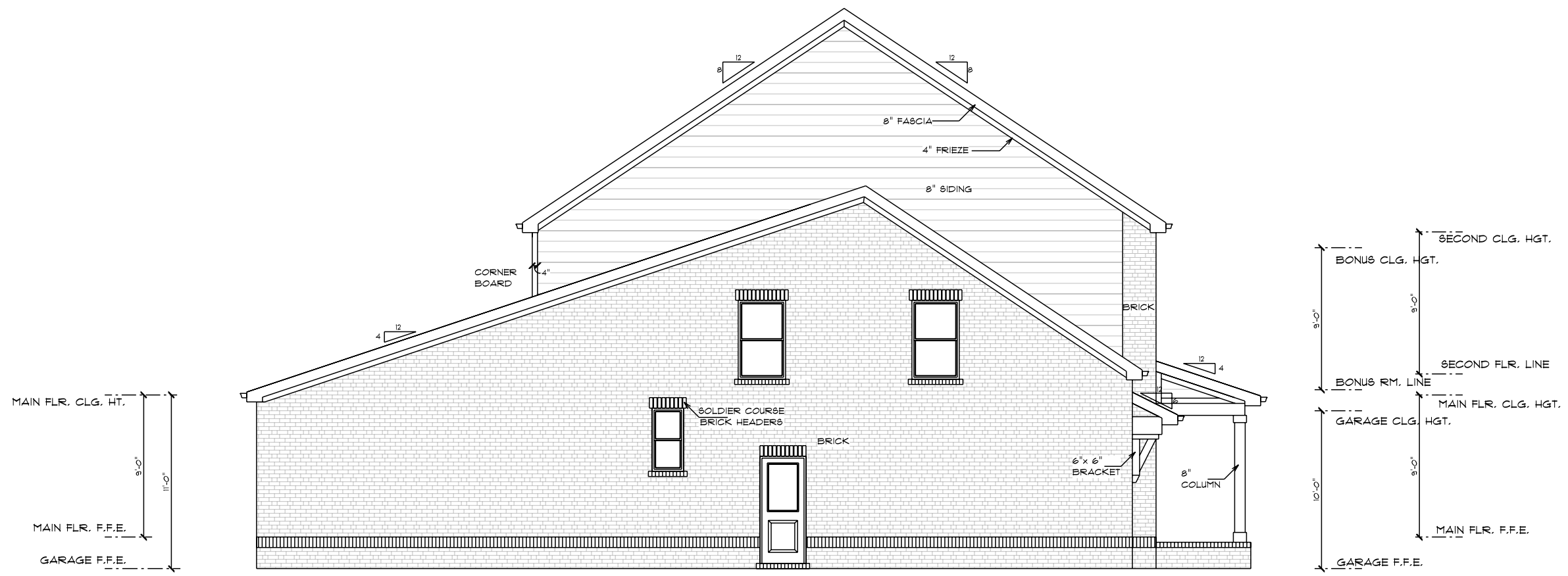
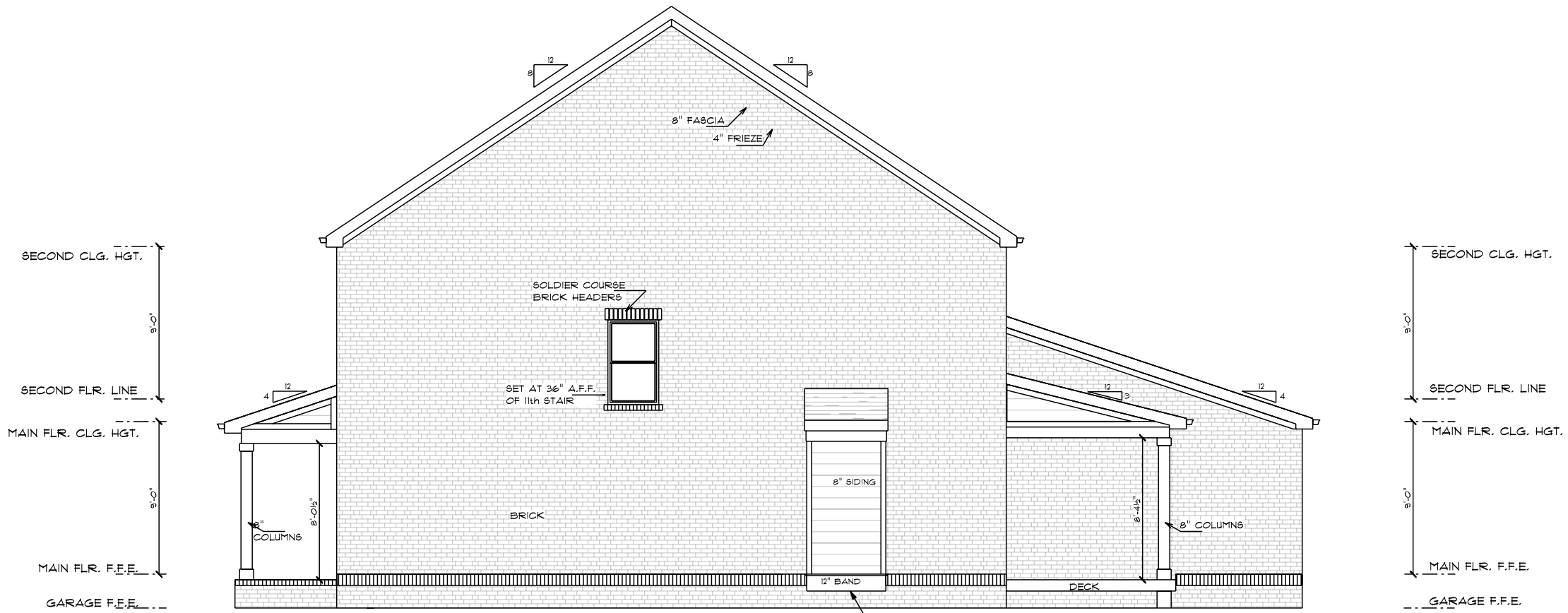
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LOT 26
 Masters View
 Mount Juliet, TN 37122

SOUTHERN CONSTRUCTION

Left & Right Elevations
 Scale as Noted on 11" x 17" Paper

Date:
 4-19-18



RIGHT ELEVATION

LEFT ELEVATION

